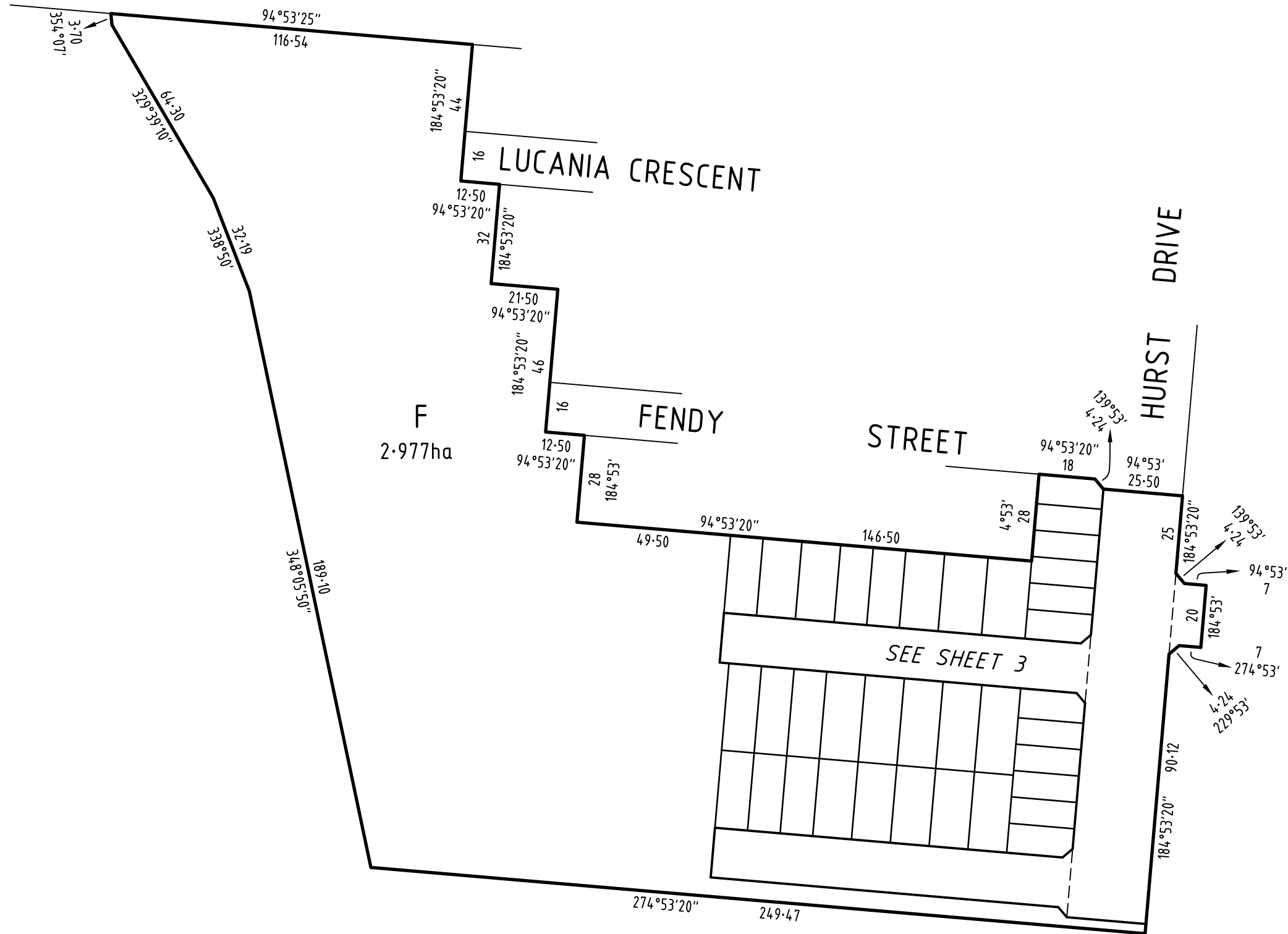
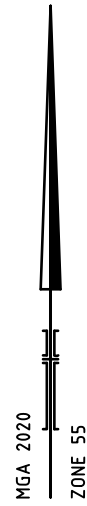


PLAN OF SUBDIVISION		EDITION 1	PS 909577A	
LOCATION OF LAND PARISH: TARNEIT TOWNSHIP: - SECTION: 22 CROWN ALLOTMENT: - CROWN PORTION: F (Part) TITLE REFERENCE: C/T VOL FOL ... LAST PLAN REFERENCE: LOT E on PS 906058S POSTAL ADDRESS: 860 DERRIMUT ROAD, (at time of subdivision) TARNEIT, VIC 3029 MGA2020 CO-ORDINATES: E: 297 730 ZONE: 55 (of approx centre of land in plan) N: 5 812 630		Council Name: Wyndham City Council Council Reference Number: WYS6030/22 Planning Permit Reference: WYP13135/21 SPEAR Reference Number: S195761T Certification This plan is certified under section 6 of the Subdivision Act 1988 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Mark Tenner for Wyndham City Council on 10/02/2023		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL / BODY / PERSON	Land being subdivided is enclosed within thick continuous lines Lots 1 to 200, and A to E (all inclusive) have been omitted from this plan.		
ROAD R-1	WYNDHAM CITY COUNCIL			
NOTATIONS				
DEPTH LIMITATION : DOES NOT APPLY SURVEY : This plan is based on survey (PS 901682W) STAGING : This is not a staged subdivision Planning Permit No. WYP13135/21 This survey has been connected to permanent marks No(s). PM158 & PM159 In Proclaimed Survey Area No. -				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
HARLOW ESTATE - STAGE 2 (36 LOTS)			AREA OF STAGE - 1.709ha	
414 La Trobe Street PO Box 16084 Melbourne Vic 8007 T 61 3 9993 7888 spiire.com.au		SURVEYORS FILE REF: 309438SV00		ORIGINAL SHEET SIZE: A3
		Digitally signed by: Terry John Mawson, Licensed Surveyor, Surveyor's Plan Version (4), 30/06/2022, SPEAR Ref: S195761T		SHEET 1 OF 5

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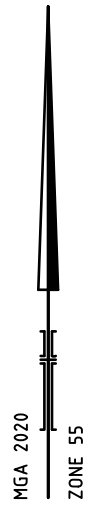
LENGTHS ARE IN METRES

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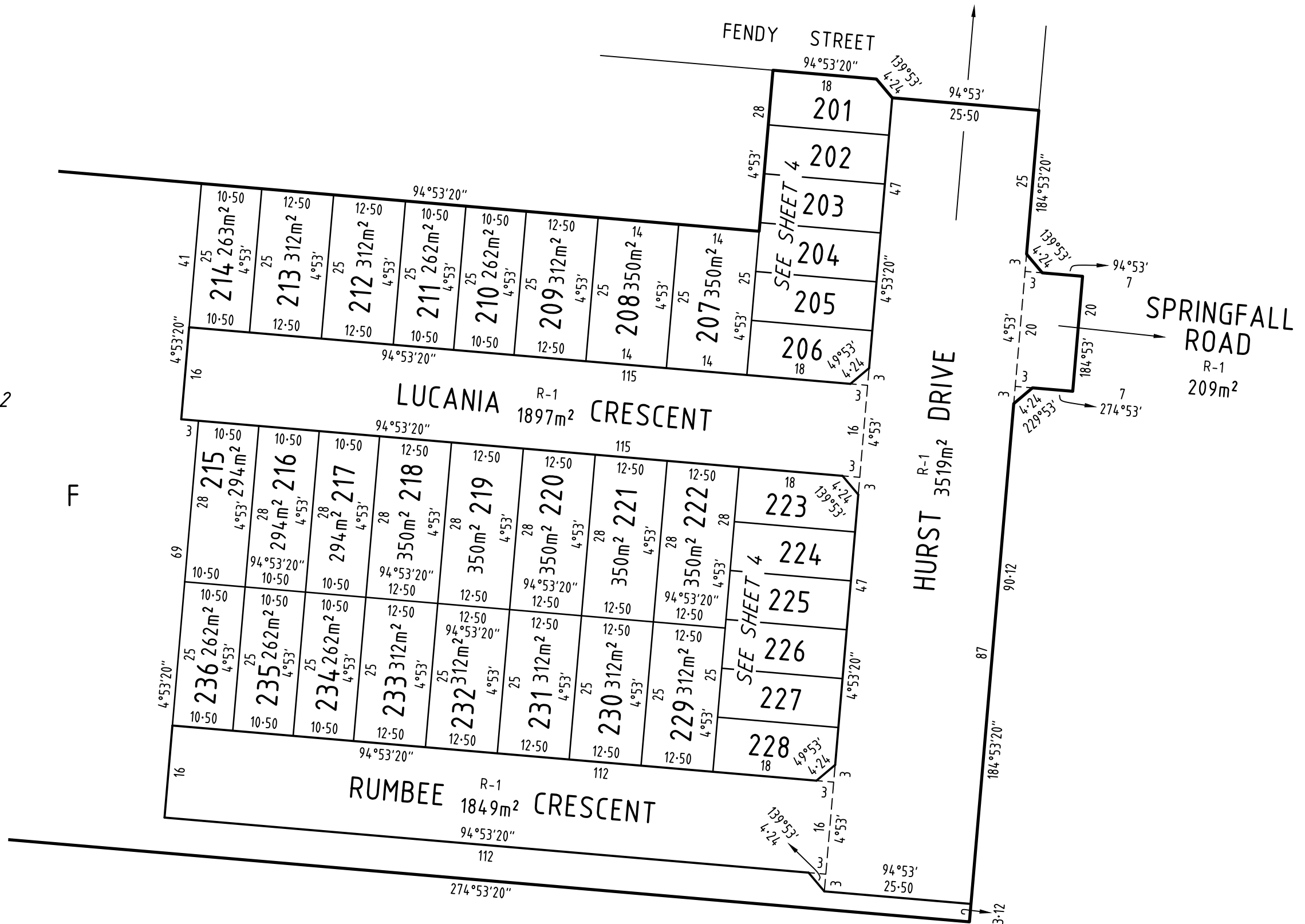
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SHEET 2

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SCALE 1: 750

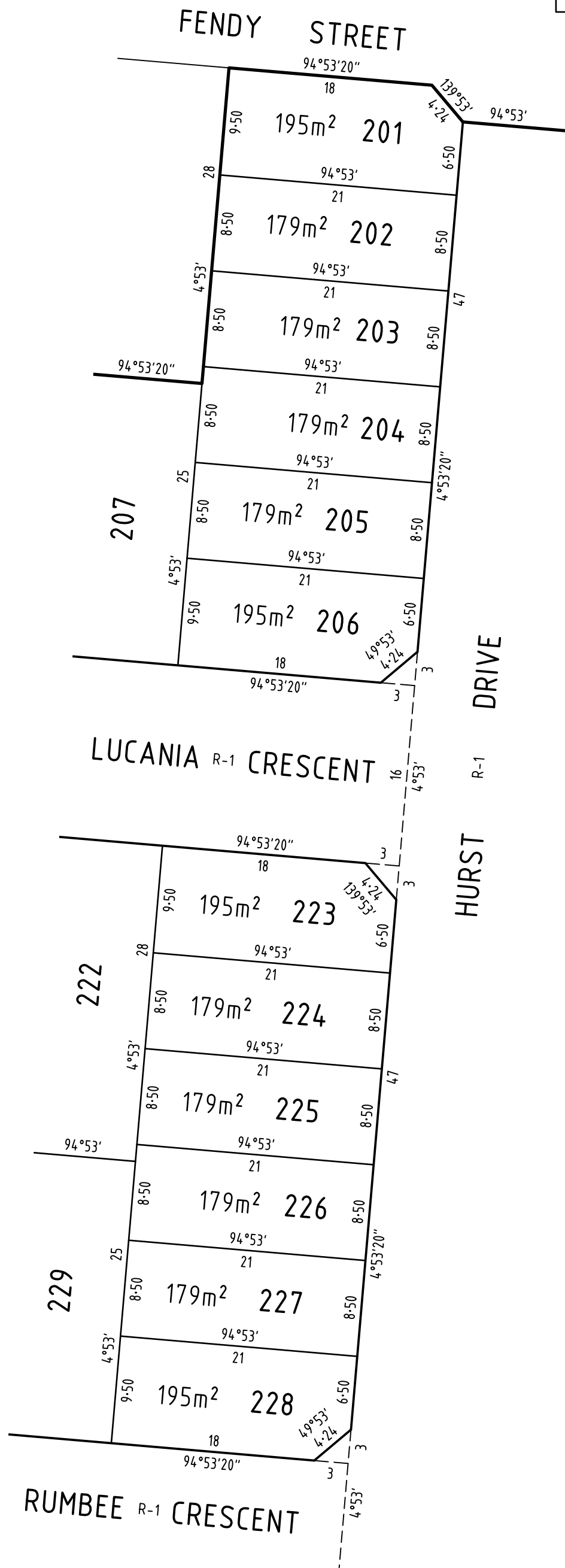
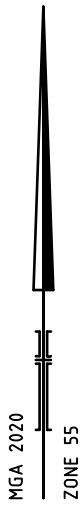
LENGTHS ARE IN METRES

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SCALE 1: 400

LENGTHS ARE IN METRES

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SHEET 4



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CREATION OF RESTRICTION 1

The following restriction is to be created upon registration of Plan of Subdivision No. PS 909577A (Plan of Subdivision) by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

Burdened Lot No.	Benefited Lots	Burdened Lot No.	Benefited Lots	Burdened Lot No.	Benefited Lots
207	204, 205, 206, 208	218	217, 219, 233	229	222, 226, 227, 228, 230
208	207, 209	219	218, 220, 232	230	221, 229, 231
209	208, 210	220	219, 221, 231	231	220, 230, 232
212	211, 213	221	220, 222, 230	232	219, 231, 233
213	212, 214	222	221, 223, 224, 225, 226, 229	233	218, 232, 234

DESCRIPTION OF RESTRICTION

Except with the written consent of each and every registered proprietor of a benefiting Lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened Lot on the Plan of Subdivision shall not:

Design Guidelines and MCP

- (a) build or allow to be built on the Lot any building other than a building which has been constructed in accordance with the endorsed Memorandum of Common Provisions (MCP) registered in Dealing Number , which MCP is incorporated into this Restriction.
- (b) build a building or structure unless it complies with the Harlow Estate Design Guidelines
- (c) build or allow to be built on the lot any building other than a building that has received approval of all plans and specifications by the Harlow Design & Assessment Panel via the Design approval panel at www.harlowtarneit.com.au prior to the issue of a building permit.

Expiry

- (1) This restriction shall cease to burden any lot on the Plan of Subdivision upon the issue of an occupancy permit under the Building Act 1993 or with effect 5 years from the date of registration.

CREATION OF RESTRICTION 2

The following restriction is to be created upon registration of Plan of Subdivision No. PS 909577A (Plan of Subdivision) by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

TABLE OF LAND BURDENED AND LAND BENEFITED :

Burdened Lot No.	Benefited Lots	Burdened Lot No.	Benefited Lots	Burdened Lot No.	Benefited Lots
201	202	211	210, 212	225	222, 224, 226
202	201, 203	214	213	226	222, 225, 227, 229
203	202, 204	215	216, 236	227	226, 228, 229
204	203, 205, 207	216	215, 217, 235, 236	228	227, 229
205	204, 206, 207	217	216, 218, 234, 235	234	217, 218, 233, 235
206	205, 207	223	222, 224	235	216, 217, 234, 236
210	209, 211	224	222, 223, 225	236	215, 216, 235

Lots 201 to 206, 210, 211, 214 to 217, 223 to 228, and 234 to 236 (all inclusive) are defined as Type A lots under the 'Small lot Housing Code'.

DESCRIPTION OF RESTRICTION

Except with the written consent of each and every registered proprietor of a benefiting lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened Lot on the Plan of Subdivision in the table as a lot subject to the 'Small Lot Housing Code' shall not:

Small Lot Housing Code

- (a) build or allow to be built or remain on the lot any remaining building or structure that has not been constructed in accordance with the 'Small Lot Building Code' unless in an accordance with a planning permit granted to construct a dwelling on the lot.
- (b) build a building or structure unless it complies with the Harlow Estate Design Guidelines.
- (c) build or allow to be built on the lot any building other than a building that has received approval of all plans and specifications by the Harlow Design & Assessment Panel via the Design approval panel at www.harlowtarneit.com.au prior to the issue of a building permit.

Expiry

- (1) This restriction shall cease to have effect on a lot after the issuing of the occupancy permit under the Building Act 1993 for the whole of the dwelling on that lot.

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SHEET 5



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